

REGISTRATION INFORMATION
 REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.
 6.1.4.4 OF THE ONTARIO BUILDING CODE
 CLASS DESIGN: _____ BOYSZ: _____
 FIRM NAME: _____ B.C.N.A.:

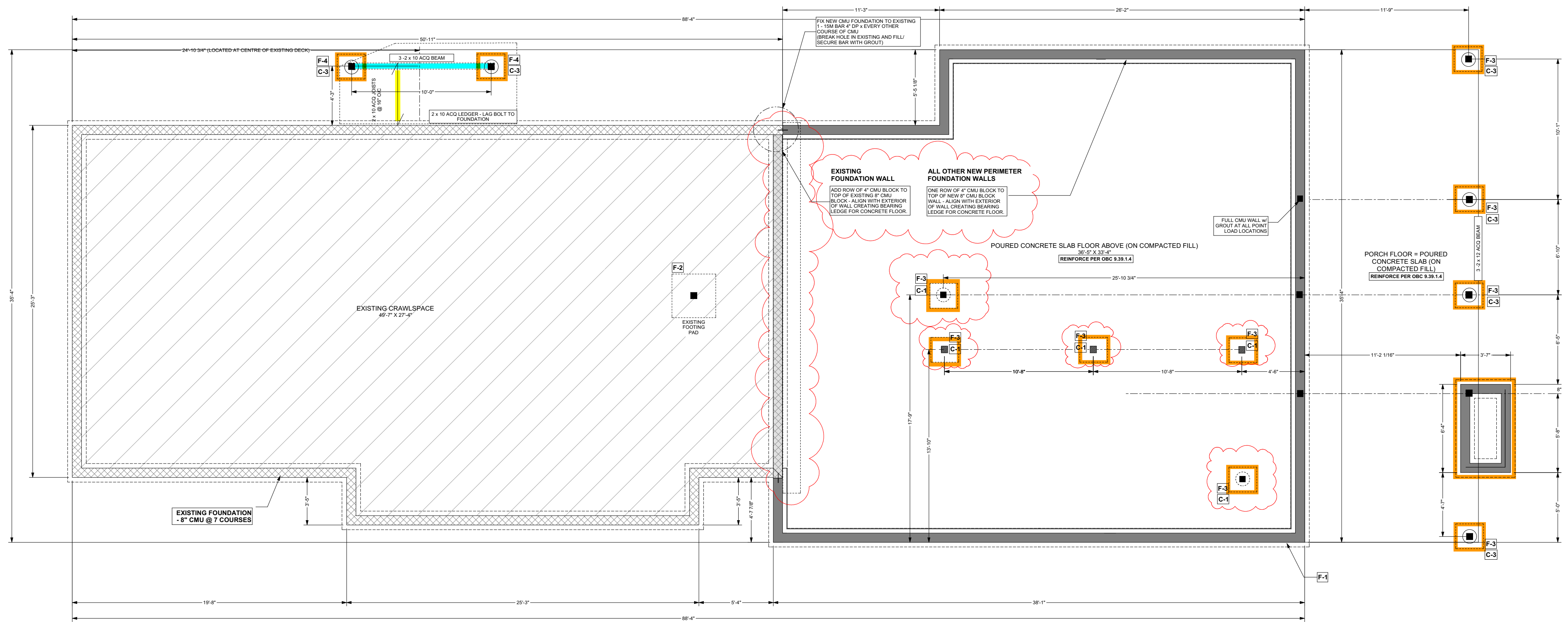
CLASSIFICATION INFORMATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES
 BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 JASON BOYD: _____ 103156 B.C.N.A.
 NAME: _____

REVISION
 30
 (12_09_21)

SCHWARTZENTRUBER
ADDITION
 102 Nordic Dr., Swiss Meadows,
 Town of Blue Mountains

SCALE
 1/4"=1'
 (EXCEPT AS NOTED)

3-D VIEWS



REVISED HVAC LAYOUTS TO BE SUBMITTED SINCE CRAWLSPACE HAS BEEN REMOVED

REGISTRATION INFORMATION
 REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. 1 OF THE ONTARIO BUILDING CODE.
 CLASS DESIGN: JASON BOYD
 FIRM NAME: ULTIMATE SHACK INC.
 BOARD: B.C.N.A.

DESIGNER INFORMATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN.
 BY THE ONTARIO BUILDING CODE TO BE A DESIGNER:
 JASON BOYD
 NAME: Jason Boyd
 ID#1556
 B.C.N.A.

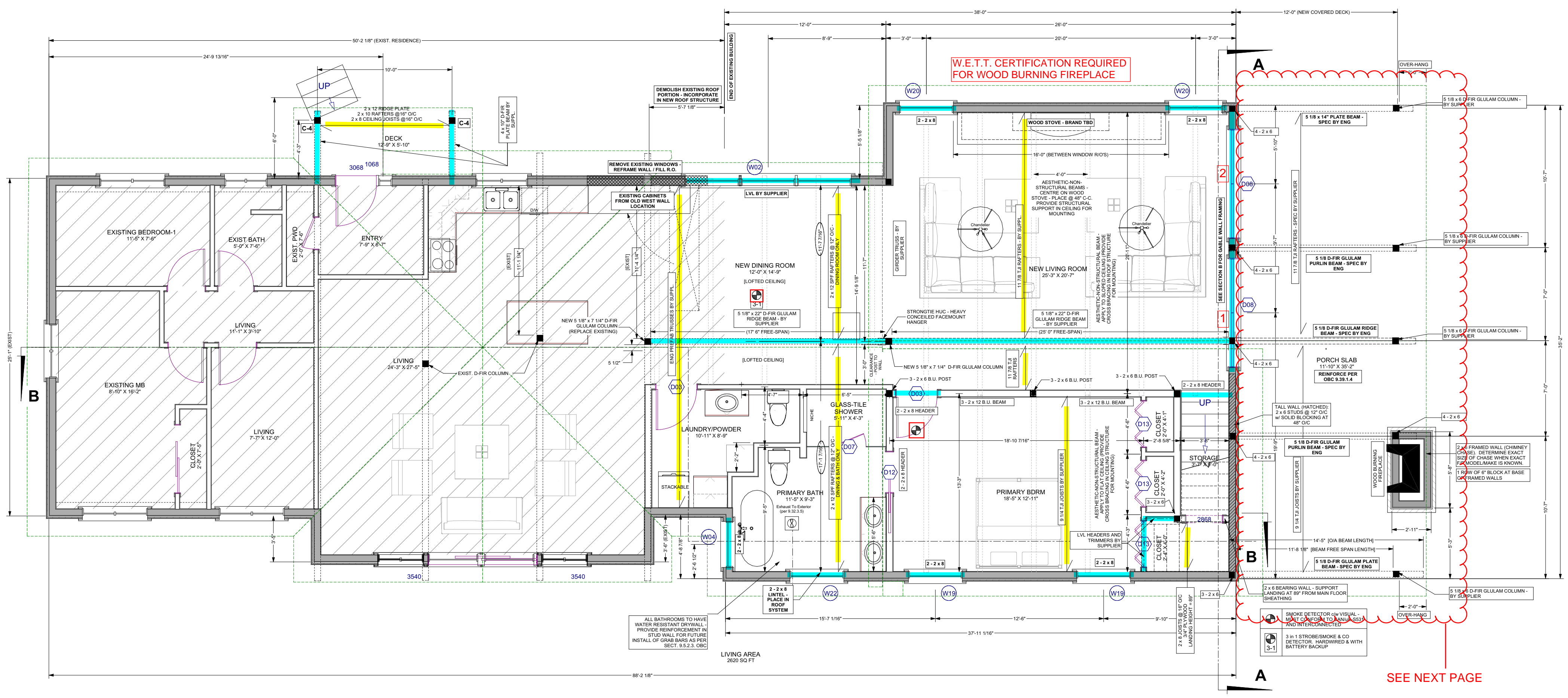
REVISION
 30
 (12_09_21)

SCHWARTZENTRUBER ADDITION
 102 Nordic Dr., Swiss Meadows, Town of Blue Mountains

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 (EXCEPT AS NOTED)

FOUNDATION

SHEET
 2
 11



REGISTRATION INFORMATION
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 CLASS DESIGN: JASON BOYD
 FRM NAME: Jason Boyd

CLASSIFICATION INFORMATION
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.
 BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 NAME: Jason Boyd
 REG. NO.: 103156
 B.C.I.A. NO.: B.C.I.N.

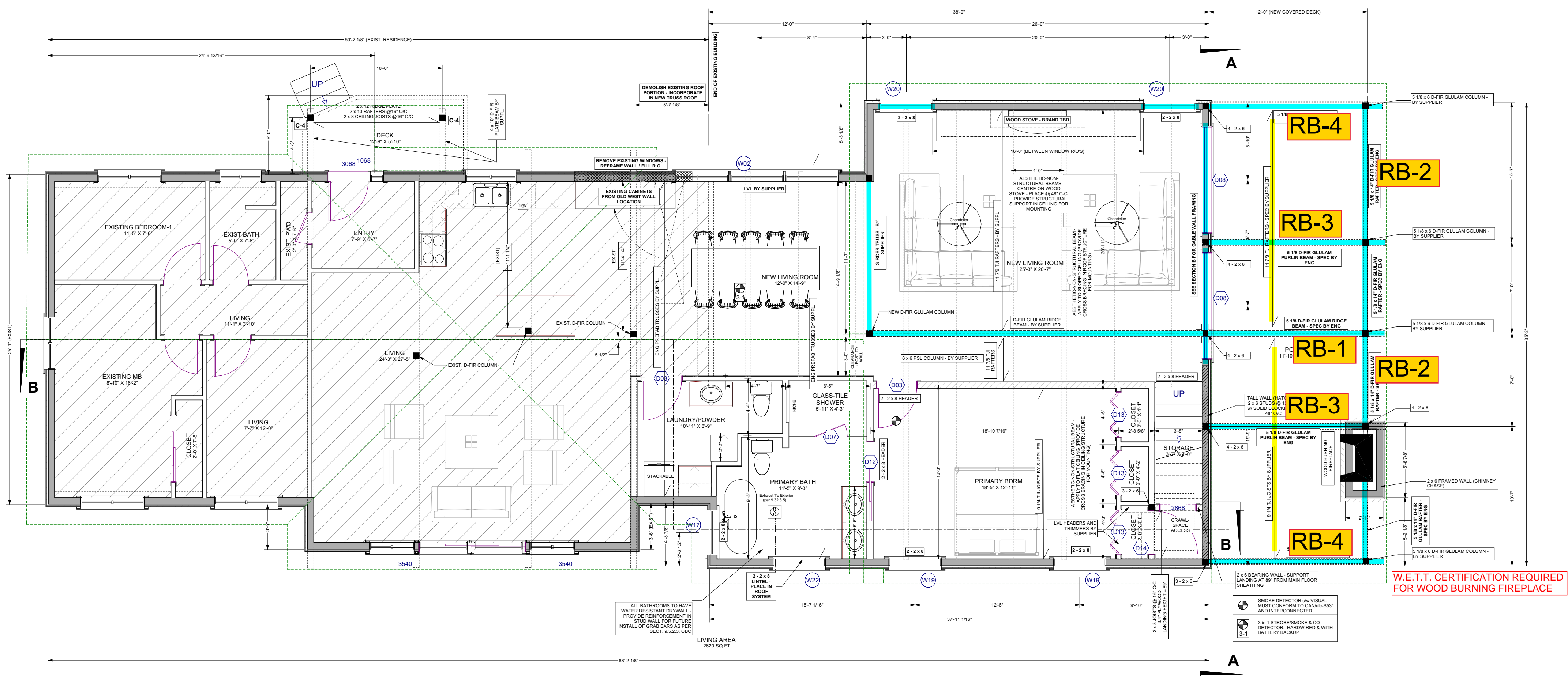
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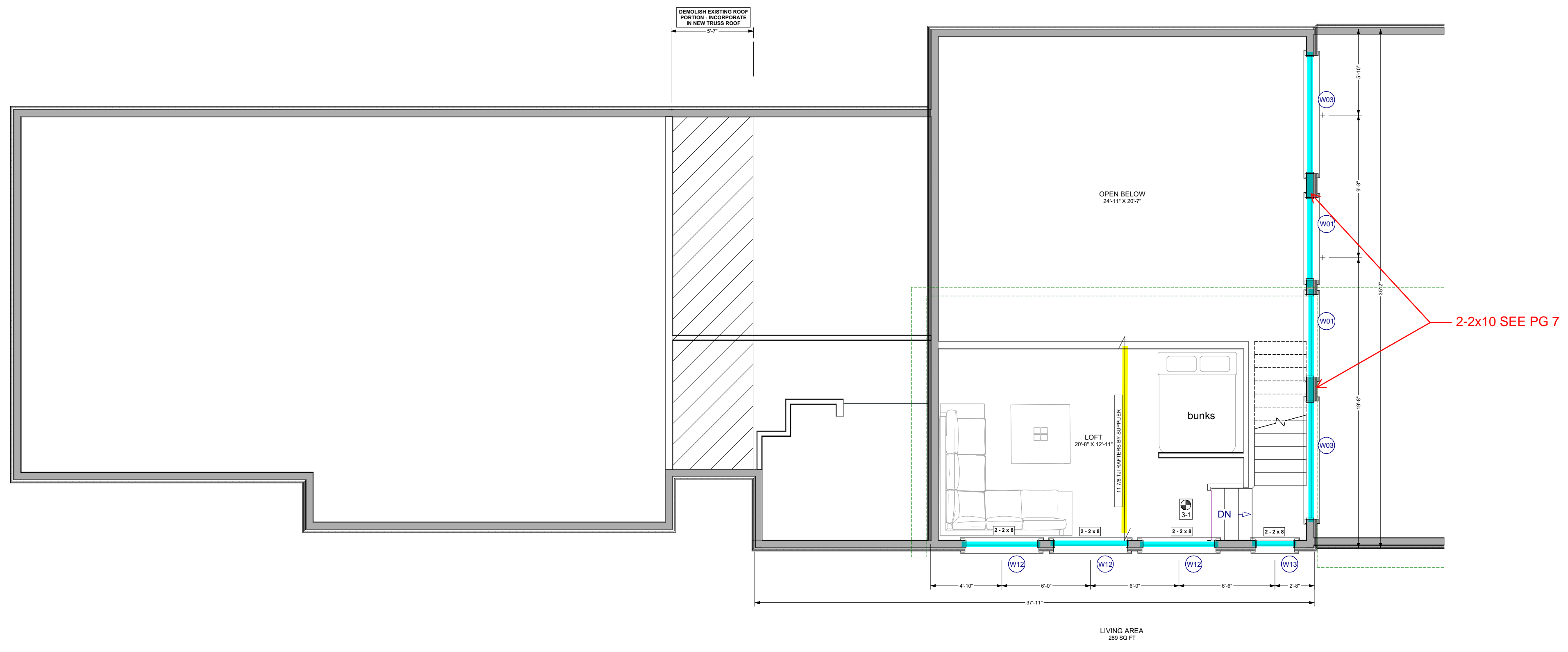
FIRST FLOOR

SHEET
 3
 11



ROOF LOADS: TOWN OF BLUE MOUNTAINS
 55 % OF 56.40 P.S.F. G.S.L. PLUS 8.4 P.S.F. RAIN LOAD) EQUALS 39.4 P.S.F. SPECIFIED ROOF LIVE LOAD
 ROOF DEAD LOAD EQUALS 12 P.S.F.

REVISION 18 (9_16_21)
 SCHWARTZENTRUBER ADDITION
 102 Nordic Dr., Swiss Meadows, Town of Blue Mountains
 SCALE 1/4"=1' (EXCEPT AS NOTED)
FIRST FLOOR



REGISTRATION INFORMATION
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 CLASS DESIGN: _____
 FROM NAME: _____
 BOYS: _____
 BCIN: _____

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 JASON BOYD
 NAME: _____
 103156
 B.C.I.A.

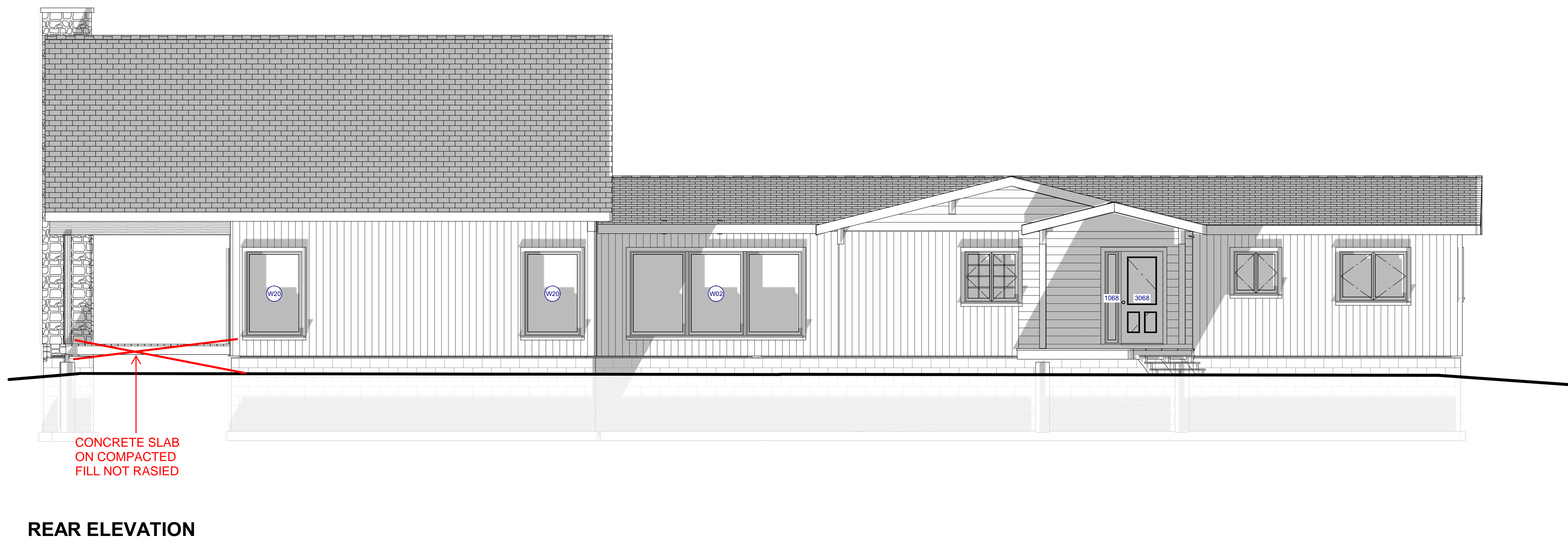
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 102 Nordic Dr., Swiss Meadows,
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2ND FLOOR

SHEET
 4
 11



REGISTRATION INFORMATION
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 CLASS DESIGN
 FROM NAME

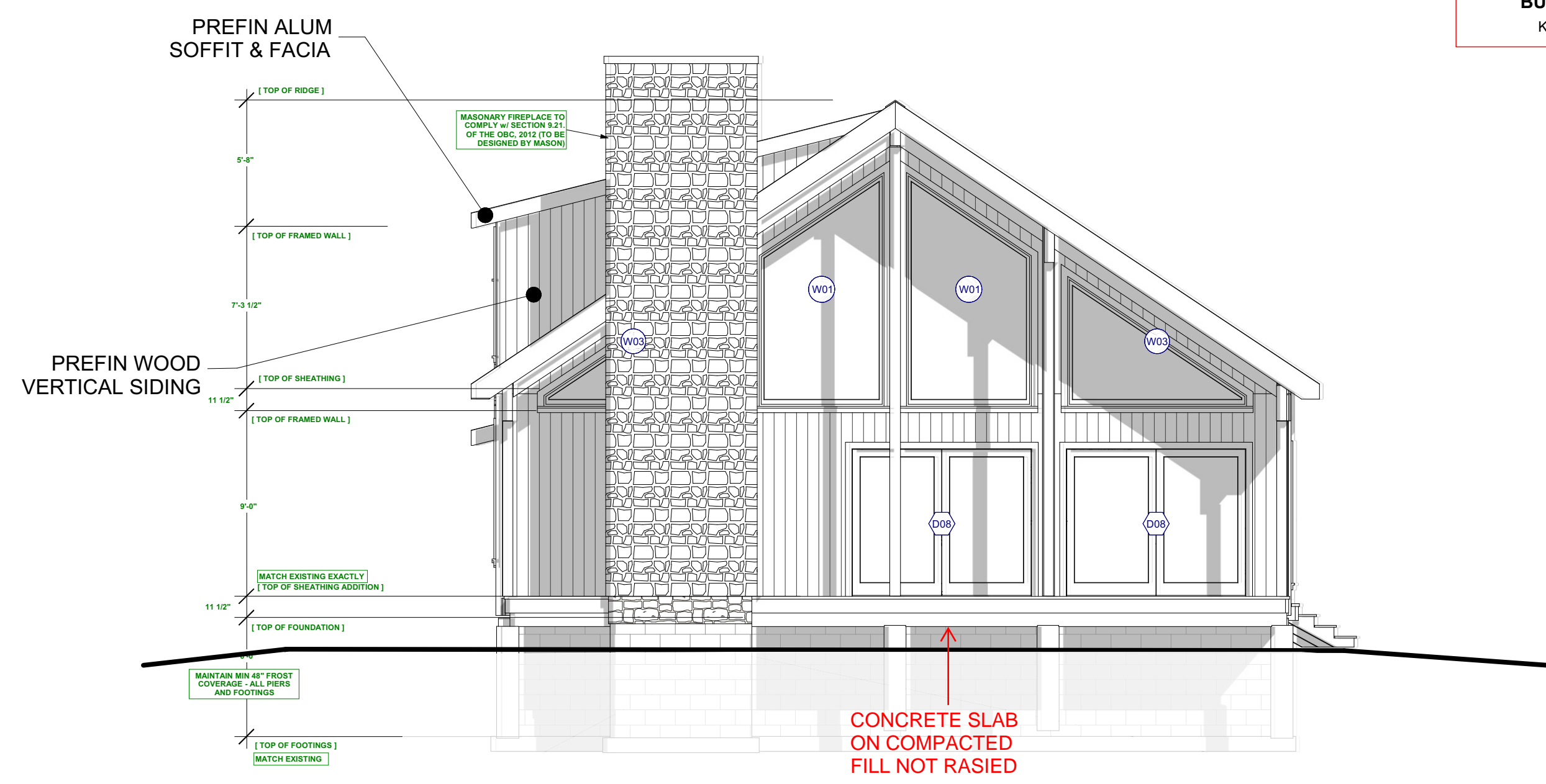
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ELEVATIONS
 (front & rear)



RIGHT ELEVATION

IF THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 600mm BETWEEN THE WALKING SURFACE AND GRADE, A GUARD IN COMPLIANCE WITH 9.8. AND THE SUPPLEMENTARY STANDARD SB7 IS REQUIRED

EXTERIOR LIGHTING MUST BE INSTALLED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY AS PER O.B.C. 9.34.2.1



LEFT ELEVATION

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 CLASS DESIGN: JASON BOYD
 FIRM NAME: Ultimate Shack Inc.
 BOYD: B.C.I.A.

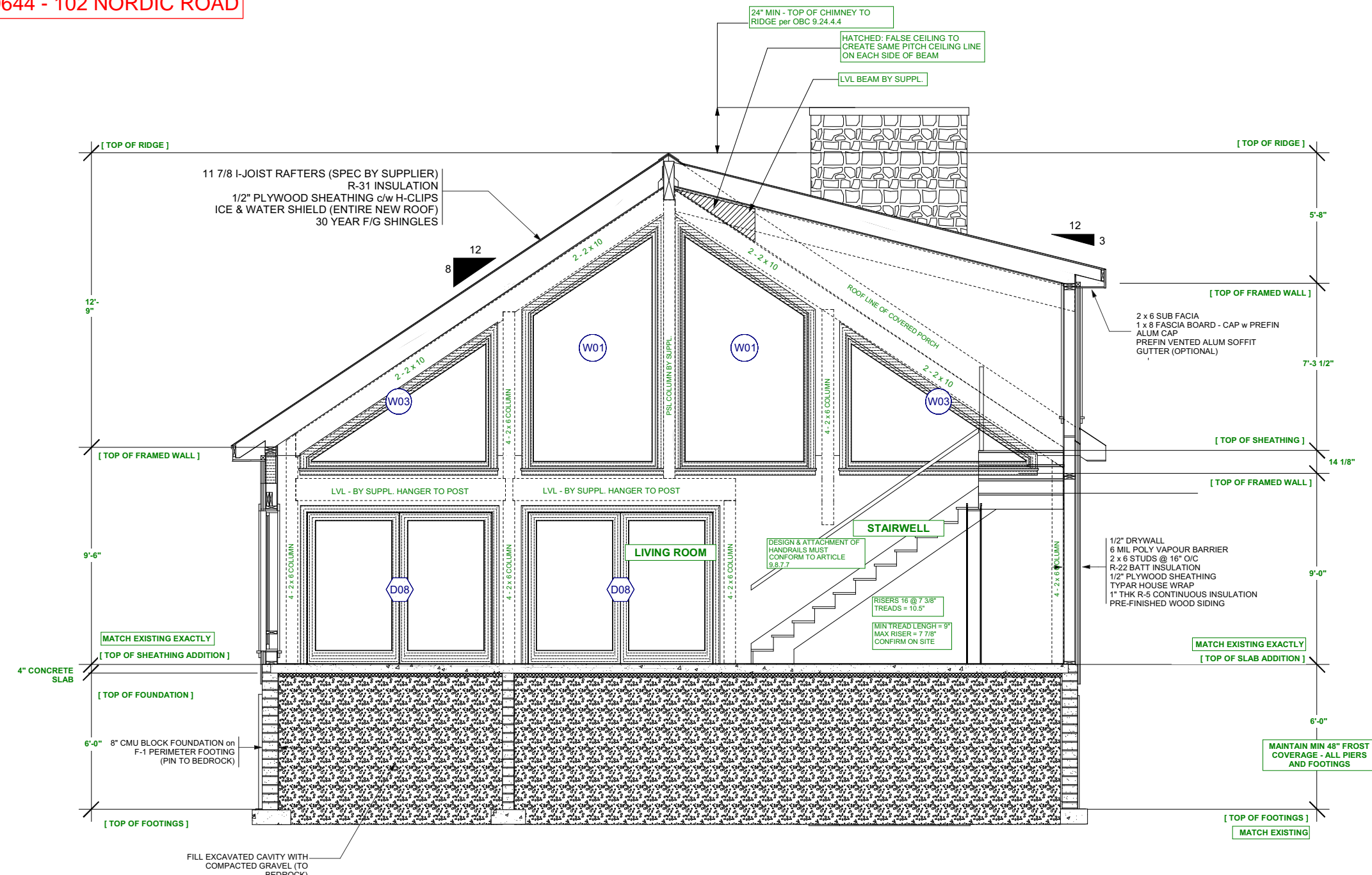
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 JASON BOYD
 NAME: Jason Boyd
 103156
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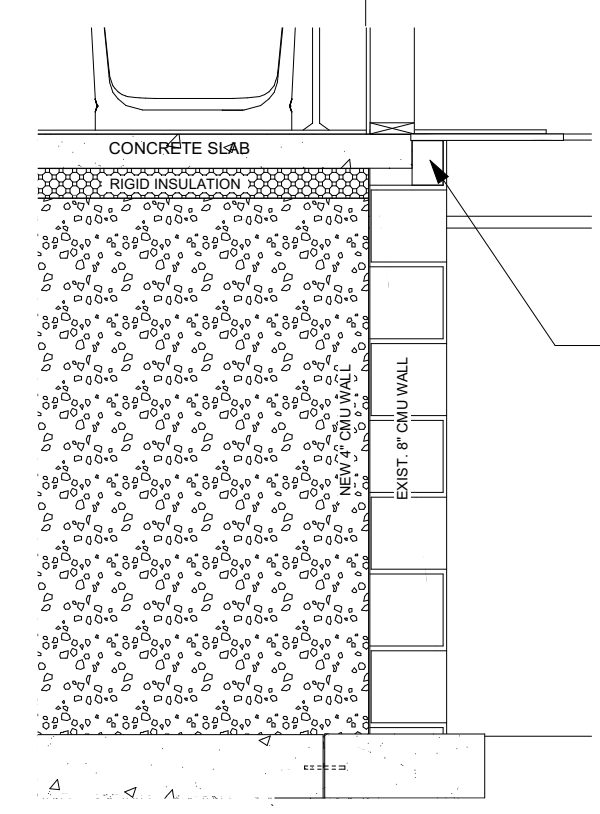
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ELEVATIONS
 (L & R)



SECTION - A

NEW STRUCTURE **EXIST. STRUCTURE**



FOUNDATION WALL CONNECTION DETAIL



SECTION - B

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CLASS DESIGN: JASON BOYD

DATE: 10/15/16

NAME: Jason Boyd

BCIN: B.CIN.

REVISION

30

(12_09_21)

SCHWARTZENTRUBER ADDITION

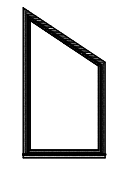
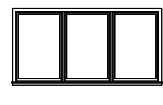
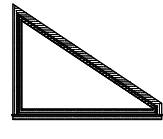
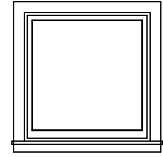
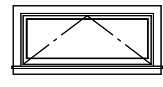
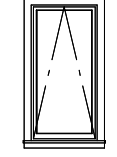
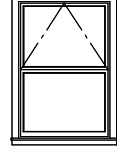
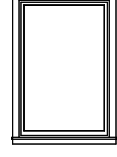
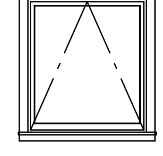
102 Nordic Dr., Swiss Meadows, Town of Blue Mountains

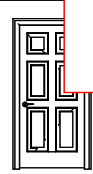
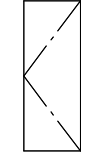
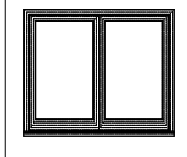
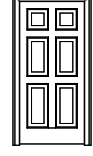
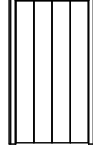
SCALE

1/4"=1'

(EXCEPT AS NOTED)

SECTIONS

WINDOW SCHEDULE						
NUMBER	QTY	ROOM NAME	FLOOR	DIMENSIONS	DESCRIPTION	3D EXTERIOR ELEVATION
W01	2	OPEN BELOW	2	67"X125 1/2"	FIXED GLASS	
W02	1	NEW DINING ROOM	1	148"X73"	MULLED UNIT-LHLRHL	
W03	2	OPEN BELOW	2	96"X89 3/4"	FIXED GLASS	
W04	1	PRIMARY BATH	1	41"X42"	FIXED GLASS	
W12	3	LOFT	2	60"X24"	SINGLE AWNING	
W13	1	OPEN BELOW	2	32"X66"	SINGLE AWNING	
W19	2	PRIMARY BDRM	1	48"X72"	DOUBLE AWNING-T	
W20	2	NEW LIVING ROOM	1	48"X73"	FIXED GLASS	
W22	1	PRIMARY BATH	1	48"X54"	SINGLE AWNING	

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	DIMENSIONS	DESCRIPTION	COMMENTS	3D EXTERIOR
D03	2	1	36"X80"X1 3/8"	HINGED-6 PANEL		
D07	1	1	30"X80"X1/2"	SHOWER-GLASS SLAB		
D08	2	1	(2) 48"X80"X1 3/4"	EXT. 1+1-PANEL SLIDER-GLASS PANEL		
D12	1	1	36"X80"X1 3/8"	POCKET-6 PANEL		
D13	3	1	(4) 10 1/8"X80"X1 3/8"	4 DR. BIFOLD-SLAB		

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 CLASS DESIGN: _____ BOYSZ: _____ BCIN: _____
 FIRM NAME: _____

I, THE UNDERSIGNED, AS REVIEWER AND TAXES BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 JASON BOYD *Jason Boyd* 103156 B.C.I.A.

REVISION
30
 (12_09_21)

SCHWARTZENTRUBER
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 102 Nordic Dr., Swiss Meadows,
 Town of Blue Mountains

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1/4"=1'
 [EXCEPT AS NOTED]

SCHEDULES

GENERAL NOTES

- COORDINATE ALL STRUCTURAL WORK WITH OTHER TRADES, REPORT ANY CONFLICT IMMEDIATELY TO THE CONSULTANT FOR RESOLUTION. CONFIRM SIZE AND LOCATION OF ALL OPENINGS WITH TRADE REQUIRING THEM.
- PROVIDE OPENINGS IN ROOFS, FLOORS AND WALLS AS SHOWN ON DRAWINGS OR OTHERWISE REQUIRED BY VARIOUS TRADES.
- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
- GENERAL CONTRACTOR TO VERIFY ALL SITE DIMENSIONS AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DETAILS SHOWN TO DESIGNER BEFORE PROCEEDING WITH WORK.

NON-PRESSURE TREATED WOOD

- WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM OR OTHER DAMP-PROOFING MATERIAL. SUCH DAMP-PROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST 6" ABOVE THE GROUND.

WOOD NOTES

- ALL DIMENSIONAL LUMBER TO BE SPF #2 OR BETTER
- ALL PRE ENGINEERED ROOF TRUSSES AND FLOOR JOISTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- ENSURE MINIMUM 3-1/2" BEARING FOR ALL WOOD BEAMS UNLESS OTHERWISE NOTED.
- ENSURE MINIMUM 1-1/2" BEARING FOR ALL SOLID SAWN FLOOR JOISTS UNLESS OTHERWISE NOTED.
- ALL FLOOR SHEATHING SHALL BE 5/8" T&G APPROVED SUBFLOOR ON ALL WOOD FLOOR JOISTS UNLESS OTHERWISE NOTED.
- RIMBOARD TO BE MIN 1-1/8" OSB WHERE REQUIRED. 1-1/4" TIMBERSTRAND BY TJM MAY ALSO BE USED. WHERE REQUIRED JOIST BLOCKING MAY BE USED AS AN ALTERNATIVE.
- PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS OR BLOCKING BETWEEN WOOD JOISTS (NON LOAD BEARING WALLS)
- ALL BEARING WALLS TO BE 2"x6" @ 16" O/C UNLESS OTHERWISE NOTED.
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR BRIDGING AND STRAPPING REQUIREMENTS.
- ALL NON BEARING WALLS TO BE CONSTRUCTED OF 2"x4" @ 16"O/C UNLESS OTHERWISE NOTED.

WASHROOMS

WOOD BLOCKING TO BE INSTALLED IN ALL MAIN FLOOR WASHROOMS TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET AND A SHOWER OR BATH-TUB AS PER 9.5.2.3(1) OF O.B.C.

FOUNDATIONS

- CONCRETE COMPRESSIVE CYLINDER STRENGTH AT 28 DAYS SHALL BE 15 MPa UNLESS OTHERWISE NOTED FOR ALL FOUNDATIONS.
- ALL EXTERIOR FOOTINGS SHALL BE CARRIED DOWN TO UNDISTURBED SOIL MINIMUM OF 4'-0" BELOW GRADE.
- MINIMUM SOIL BEARING CAPACITY TO BE 75 KPa UNLESS OTHERWISE NOTED.

STEPPED FOOTINGS

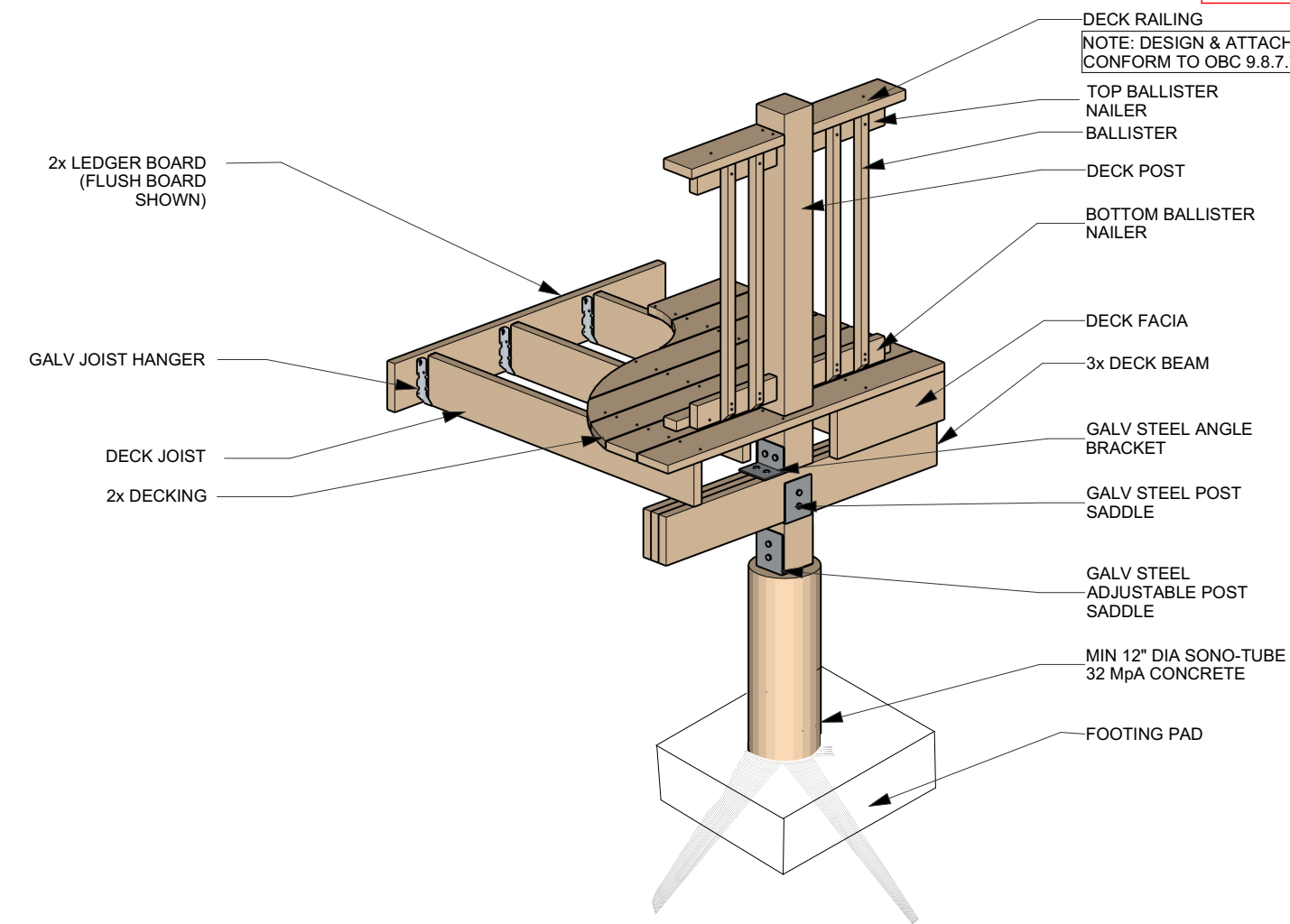
- VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600MM (23 5/8")
- HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE LESS THAN 600MM (23 5/8").

STAIRS, HANDRAILS & GUARDS

- EXIT STAIRS SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10" FOR SINGLE DWELLING UNITS AND 2'-11" FOR ALL OTHER OCCUPANCIES, MEASURED BETWEEN WALL FACES OR GUARDS.
- CLEAR HEIGHT OVER STAIRS SHALL BE NOT LESS THAN 6'-5" FOR SINGLE DWELLING UNITS AND 6'-9" FOR ALL OTHER OCCUPANCIES.
- STEP DIMENSIONS:
 - RISERS SHALL HAVE UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF 3/16" BETWEEN ADJACENT TREADS OR LANDINGS AND 3/8" BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.
- INTERIOR/EXTERIOR RAIL GUARDS
- INSTALLATION OF GUARDS FOR THE INTERIOR AND EXTERIOR MUST CONFORM TO OBC 2012.
- ALL INTERIOR STAIRS AND LANDINGS (MORE THAN 2 RISERS), SHALL HAVE THE SIDES PROTECTED BY A GUARD IF NOT PROTECTED BY A WALL.
- EXTERIOR GUARDS TO BE 3'-6" HIGH FOR FLOOR TO FLOOR/GRADE HEIGHTS GREATER THAN 5'-11"
- EXTERIOR GUARDS TO BE 2'-11" HIGH FOR FLOOR FLOOR/GRADE HEIGHT LESS THAN 5'-11", WHEN SERVING NOT MORE THAN ONE DWELLING UNIT.
- GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXITS SHALL BE NOT LESS THAN 2'-11"
- PICKETS TO HAVE A MAXIMUM OPENING OF 4"
- NO GUARDS WITH IN A DWELLING UNIT SHALL BE LESS THAN 2'-11".
- INTERIOR/EXTERIOR HANDRAIL
 - IF HANDRAIL IS USED AGAINST AN INTERIOR WALL...
HANDRAIL MAX HEIGHT = 38"
HANDRAIL MIN HEIGHT = 34"
MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR NOSING
 - WHERE GUARDS ARE REQUIRED, HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 42". EXTERIOR HANDRAILS SHALL BE A MINIMUM 42" UNLESS OTHERWISE SHOWN.

VAPOUR BARRIERS

- THERMALLY INSULATED WALLS, CEILINGS AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOUR BARRIER SUFFICIENT TO PREVENT CONDENSATION IN THE WALL SPACES, FLOOR SPACES OR ATTIC OR ROOF SPACES.
- VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACES OF THERMALLY INSULATED WALLS, CEILING AND FLOOR ASSEMBLIES.
- VAPOUR BARRIERS SHALL BE INSTALLED SUFFICIENTLY CLOSE TO THE WARM SIDE OF INSULATION TO PREVENT CONDENSATION AT DESIGN CONDITIONS.



DECK STRUCTURE - COLUMN C-2 DETAILS
[POST ON BEAM]
(NOT TO SCALE)

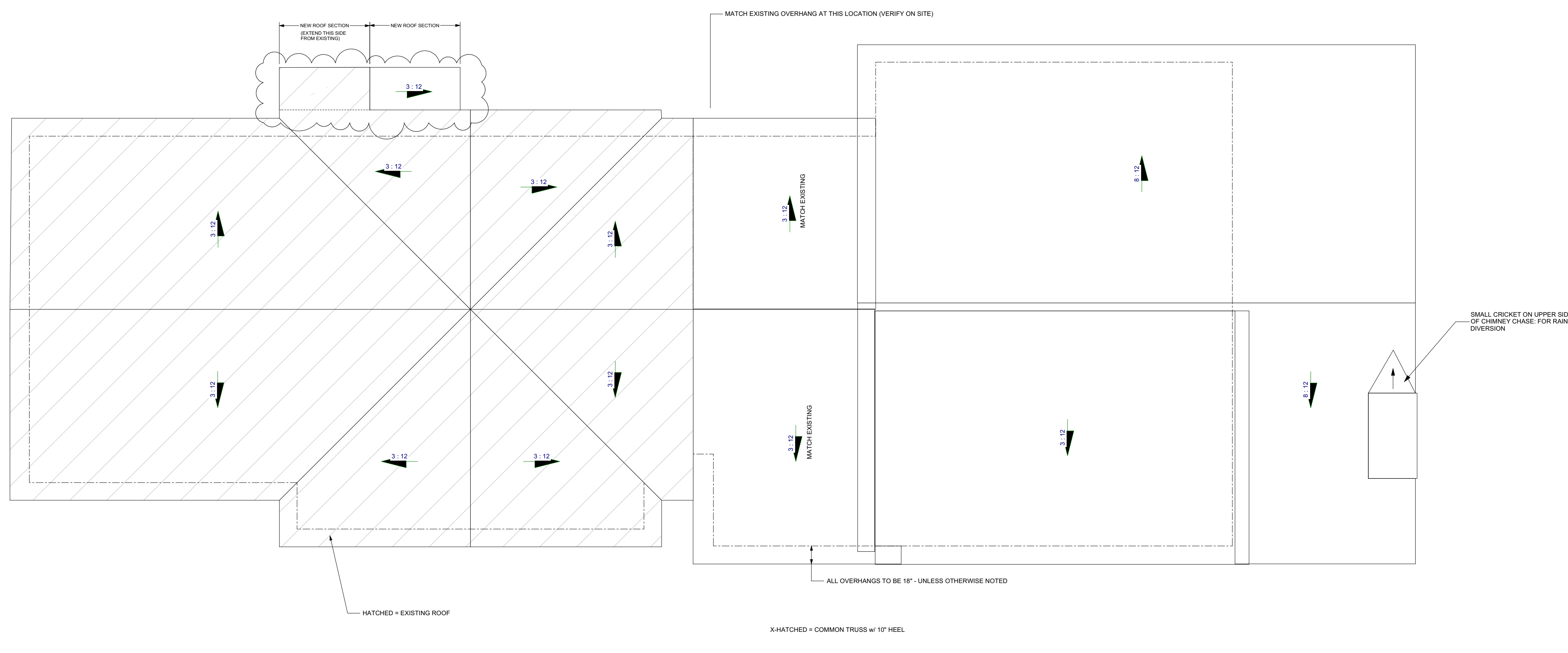
REGISTRATION INFORMATION
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CLASS DESIGN: JASON BOYD 103156 B.C.I.A.
FRM NAME: Jason Boyd

REVISION
30
(12_09_21)

SCHWARTZENTRUBER ADDITION
102 Nordic Dr., Swiss Meadows, Town of Blue Mountains

SCALE
1/4"=1'
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NOTES



REGISTRATION INFORMATION
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BOYS: _____
BCIN: _____

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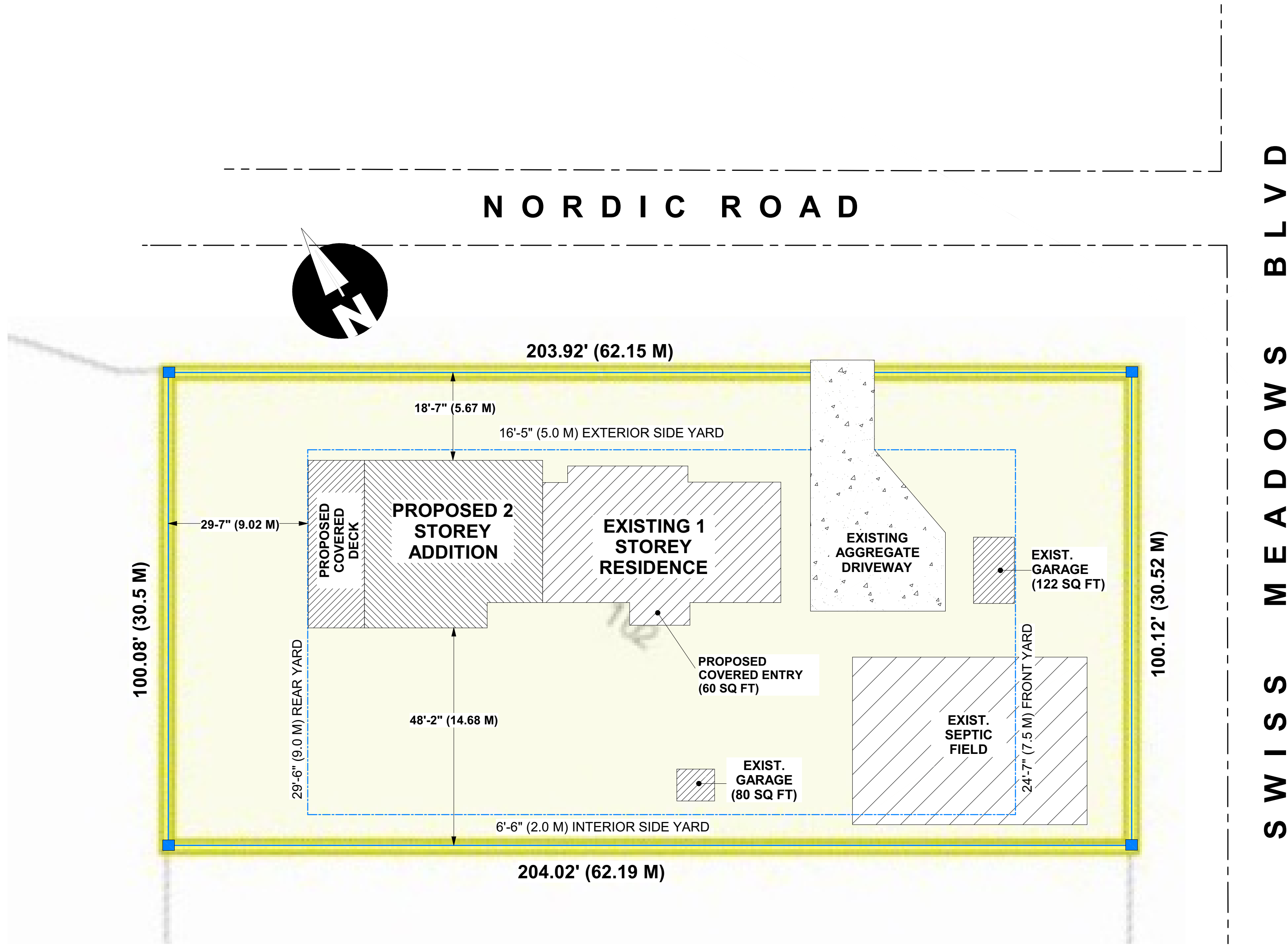
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ROOF PLAN

SHEET
10



#102 NORDIC RD, BLUE MOUNTAINS, ON

ZONING COMPLIANCE (R1-1)

LOT AREA	20,420.0 SQ FT (1,897.1 SQ M)	
ALLOWABLE LOT COVERAGE @ 30%	6,126 SQ FT (569.1 SQ M)	
ACTUAL LOT COVERAGE	3,331.2 SQ FT (309.5 Sq M) [16.3%]	3155.2 Sq. Ft (Residence) + 176 Sq. Ft (Access Buildings)
ALLOWABLE OVER-ALL HEIGHT	31'-2" (9.5 M)	
ACTUAL OVER-ALL HEIGHT	24'-2" (7.4 M)	

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SITEPLAN